



HOMEOWNER BUILDING CODE

Schedule 2



SANDHURST
CLUB

MAY 2011



TABLE OF CONTENTS

1.0 Preface	2	7.0 Other Important Considerations	21
1.1 Purpose of this Review.....	2	7.1 Commercial Vehicles, Boats, Caravans etc.....	21
1.2 Objective of the Code.....	2	7.2 Outbuildings, Storage and Structures	21
2.0 Introduction	2	7.3 Verandahs and Pergolas.....	22
2.1 Precedence.....	2	7.4 Shade Sails and Structures	22
2.2 Individual Lots.....	2	7.5 Swimming Pools	22
2.3 Medium Density.....	2	7.6 Restrictions on Ancillary Equipment	23
2.4 Fundamental Requirements for New Developments ..	3	7.7 Air Conditioning Unit	23
3.0 The Approval Process	4	7.8 Solar Water Heating	23
3.1 What Requires Approval.....	4	7.9 Television Antennae & Satellite Dishes	24
3.2 Approval Process Flow Chart.....	5	7.10 Clothes Lines and Drying Areas.....	24
4.0 Building Plans Assessment	6	7.11 Outdoor Lighting	25
4.1 Preliminary Design Assessment	6	7.12 Transportable Homes	25
4.2 Final Design Assessment	6	7.13 Domestic Pets.....	25
5.0 Site Planning and Building Design	7	7.14 Energy Efficiency	25
5.1 Siting Of Residence.....	7	7.15 Water Efficiency	25
5.2 Privacy.....	8	7.16 Signage	26
5.3 Building Setbacks	8	7.17 Asset Protection.....	26
5.4 Building Form	9	7.18 Certificate of Occupancy	26
5.5 General Design Principles	10	7.19 Compliance.....	26
5.6 Verandahs and Balconies	11	8.0 ARC Fees and Charges	27
5.7 Design Duplication.....	11	9.0 Checklist	28
5.8 Size	11	9.1 Submission for Preliminary Assessment.....	28
5.9 Floor Levels	11	9.2 Submission for Final Approval	28
5.10 Height Restrictions.....	12		
5.11 Calculation of Areas	12		
5.12 Roofing	13		
5.13 Plumbing	13		
5.14 Garages	14		
5.15 Golf Cart Provision	15		
5.16 Driveways and Crossovers	15		
5.17 Security System and Communication Network	16		
6.0 External Elements, Colours and Materials	17		
6.1 What To Submit.....	17		
6.2 Face Brickwork.....	17		
6.3 Render.....	17		
6.4 Garage Doors.....	18		
6.5 Roof Material	18		
6.6 Fascia Colour	18		
6.7 Gutter Colour	18		
6.8 Window Trim Colour.....	18		
6.9 Front Door Colour.....	18		
6.10 Balustrade and Handrail Colour	18		
6.11 Distinctive Lots	18		
6.12 Letterbox	19		
6.13 Fencing.....	19		
6.14 Landscaping	20		

1.0 PREFACE

1.1 Purpose of this Review

The Sandhurst Club Homeowner Building Code Residential Design Guidelines (SHBC) is reviewed from time to time to ensure that the development is kept up to date with changes and to enhance the value of the properties in the estate. The objective is also to clarify some of the requirements and to further expand on some issues to avoid any misinterpretations and uncertainties.

The revised SHBC is designed to facilitate residential development which is respectful of neighbourhood character and seeks to minimise off-site impacts and maximise on-site residential amenity.

1.2 Objective of the Code

The objective of the SHBC is to satisfy two fundamental objectives:

- To ensure that all development represents contemporary Australian architecture and sits comfortably within the surrounding built environment; and
- To ensure that an attractive residential environment is achieved for all residents within the estate, both now and in the future.

2.0 INTRODUCTION

2.1 Precedence

Since the commencement of the development, the design requirements of the estate have been an ongoing and evolving process. As a consequence, the ARC has appraised proposals under changing dynamics.

With the advance of the current Code in its current form, there is greater systematic control in ensuring that the process of the ARC operates effectively, in favour of the Club's members and the estate as a whole.

For the benefit of all Members and the protection of their investment at Sandhurst Club, the ARC must assess each proposal under the current Code only and any precedence cannot influence the decision.

2.2 Individual Lots

At Sandhurst Club, your future house investment is protected by the SHBC.

The purpose of this document is to explain the SHBC and to promote design solutions that reflect the intent and integrity of the Sandhurst development. It is aimed to achieve a modern contemporary design result, with low pitched roof forms, wide eaves and simple clean line design solutions.

You must obtain written Final Approval from the Architectural Review Committee (ARC) prior to construction or erection and/or installation of any item on your allotment.

You will require specific written approval from the ARC for three main items:

- Building design plans;
- External materials and colours; and
- Landscaping including driveway and crossover, letterbox and paving.

There is an obligation for all lot owners who intend to commence development on a lot to obtain the necessary ARC written approval.

The SHBC ("The Code") is administered by the ARC appointed by the Developer. The ARC comprises of representatives from the Developer, qualified architect and/or planner, designer and architectural professionals.

Their experience and standards will ensure that each individual home adds to the overall streetscape appeal, forever retaining Sandhurst Club's identity as a very special place to live.

These guidelines are additional to statutory building and planning requirements, Frankston City Council and any other relevant Authority.

The Developer reserves the right to vary these guidelines at any time as required during the progress of the development of the overall subdivision.



2.2 Medium Density

Within the estate there are areas that have been specifically set aside for smaller lots (less than 450sqm) and for medium density developments. These developments are also required to be submitted to the ARC for assessment and approval. There are some specific requirements applied to these developments which may vary from the requirements of SHBC.

A specific set of design guidelines has been prepared for these types of allotments within the estate. They will have similarity in their form and colour schemes, hence maintaining the original design intent of the estate.

3.0 THE APPROVAL PROCESS

There is an obligation for all lot owners who intend to commence development on a lot to obtain the necessary written approval from the ARC.

The ARC will assess and review each application to ensure it conforms with the Code. Each application is treated on its own merit in accordance with the Code. From time to time some applications may not fully meet the Code, however contain sufficient architectural design merit to warrant approval. In these instances, the ARC may meet with the lot owner and/or designer to achieve compliance.

The ARC can decline a submission if, in its opinion, it does not comply. Alternatively, the ARC may request amendments to be made in order to obtain final approval.

Once a member's application for approval of their plans and designs has been received, every endeavour will be made to return comments regarding each application within 14 working days. Please ensure that you make allowance for this process in all applications to the ARC.

All applications are to be made to:

ClubLINKS Architectural Review Committee

PGA National Office
600 Thompsons Road
SANDHURST VIC 3977

Tel: 1300 880 809
(03) 8320 5393

Fax: (03) 9639 2244

Email: arc@clublinks.com.au

3.1 What Requires Approval

You will require specific written approval from the ARC for three main items:

- Building design plans;
- External materials and colours; and
- Landscaping including driveway, crossover, letterbox and paving.

Other items that require written approval from the ARC include:

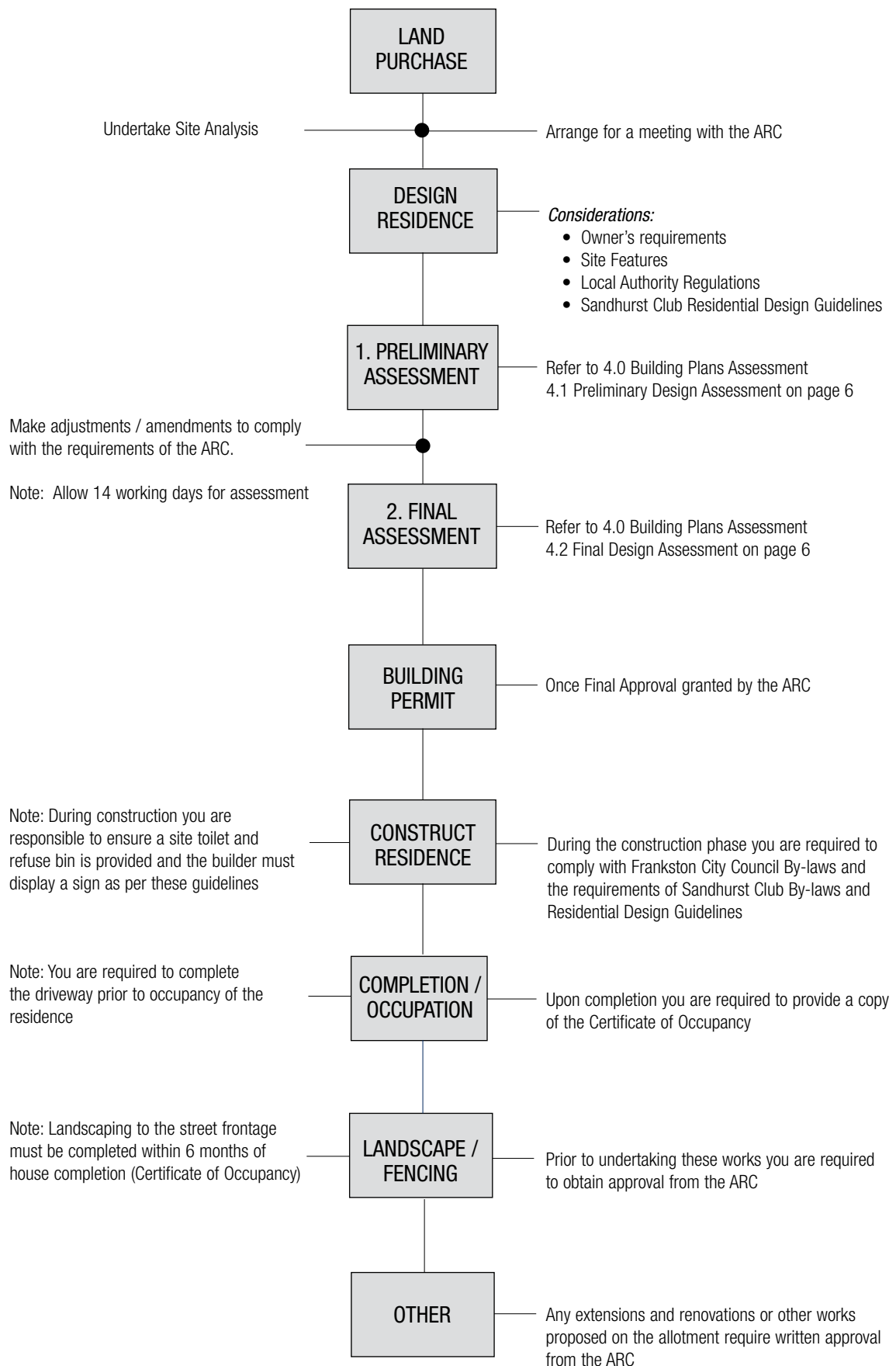
- Externally mounted air conditioning units and evaporative coolers;
- Outbuildings (garden sheds, boat shed, golf cart storage and similar structures);
- Solar hot water heaters – residential dwellings and swimming pools;
- Tennis courts and associated external lighting;
- Pergolas, patios and verandahs;
- Swimming pools and associated structures;
- Rainwater tanks;
- Recycled water connections;
- Satellite dishes and devices;
- Communications network connections;
- TV and radio antennae;
- Security system;
- Extensions and renovations; and
- Fencing where applicable.

Finally, as a general rule, you must obtain written approval from the ARC prior to construction or erection and/or installation of any item on your allotment.



3.2 Approval Process Flow Chart

WHEN YOU HAVE PURCHASED A LOT AT SANDHURST CLUB THE FOLLOWING PROCESS OCCURS:



4.0 BUILDING PLANS ASSESSMENT

Before signing any building contract, you should supply a copy of the Code to your prospective builder or designer so that they fully understand your obligations to it.

It is highly recommended that you undertake Preliminary Design Assessment through the ARC prior to signing building contracts.

This is a free service, conducted with the ARC's architect for the purpose of providing you feedback on your plans before they are submitted to the ARC. Simply contact the ARC when you have preliminary drawings, to make the appointment.

To avoid any unnecessary delay in the assessment of submissions, the ARC recommends a two-step procedure, namely Preliminary Design Assessment and Final Design Assessment.

4.1 Preliminary Design Assessment

The purpose of undertaking an assessment of the design at an early stage is to ensure that what is being proposed will comply with the Building Code. This step is recommended before you have contracts signed and the working drawings prepared.

The ARC will assess the proposal and advise you as to whether the design is acceptable and/or provide a list of requirements or advice that may need to be addressed prior to the submission being taken further.

In regard to any such requirements, you may wish to amend the sketch proposals and re-submit for assessment prior to final design drawings being submitted. This ensures your building design meets the ARC requirements.

For submission details and requirements, please refer to item 9.1 of the checklist.

4.2 Final Design Assessment

After you have made the necessary amendments to your preliminary design proposal you can make a submission for final design assessment. Plans submitted must be working drawings as sketch plans will not be approved.

If the working drawings are in order, Final Approval can be granted. If the submission does not meet the Code, a list of requirements will be provided which must be fulfilled to obtain Final Approval. You will be required to amend the plans and re-submit.

Once final approval has been granted by the ARC you may proceed to the next stage of obtaining your building permit.

You are advised that an Asset Protection Bond needs to be paid prior to the ARC issuing the Final Approval documentation. Please refer to the information sheets contained at www.sandhurst.com. Please ensure that this has been paid prior to making application to the ARC for Final Approval.

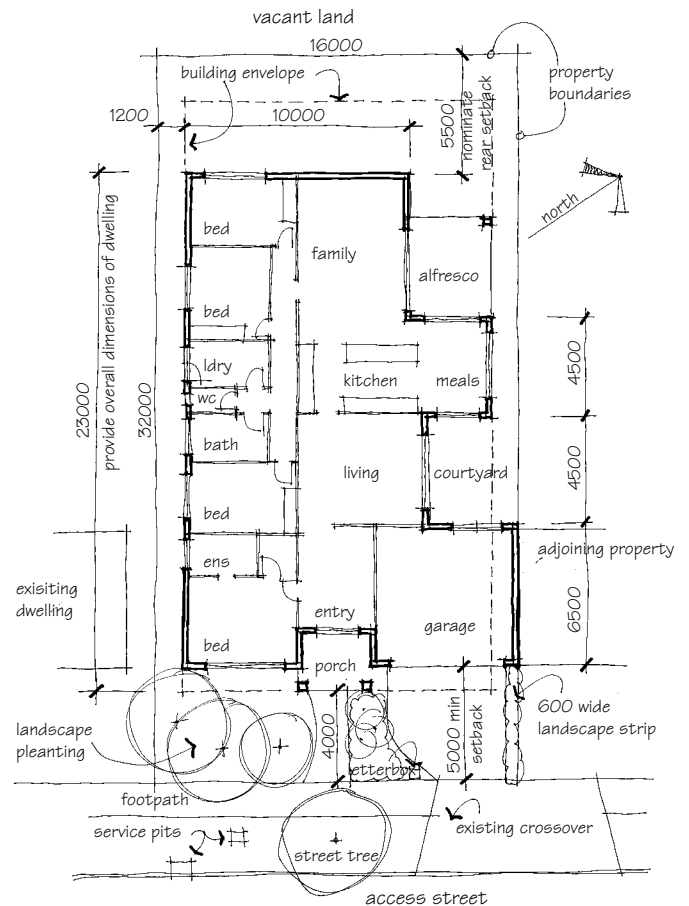


diagram 1
Preliminary Assessment Diagrams

For submission details and requirements, please refer to item 9.2 of the checklist.

Please inform the ARC of your builder's contacts details and construction commencement date.



5.0 SITE PLANNING AND BUILDING DESIGN

5.1 Siting Of Residence

The ARC recommends that you undertake a site analysis of the lot prior to commencement of your design. This analysis sets the criteria form for the positioning of the residence in relation to services, crossovers, parking bays and landscaping. Engineering, building envelope and siting policy details are available to assist you with this process. Please contact the ARC for details.

Some of the key points to consider are:

- Site design plan/building setbacks;
- Orientation and slope;
- Trees and other significant vegetation;
- Adjacent buildings;
- Access points to the site and/or restrictions;
- Drainage and services;
- Potential views;
- Prevailing winds;
- Easements;
- Privacy requirements; and
- Potential noise sources.

Further to the above design considerations, the house design and ultimate layout needs to address overlooking and potential overshadowing of the adjoining properties.

Responsibility sits with the owner and builder to gain approval from a building surveyor, however, the ARC needs to have a general assessment of overshadowing and overlooking. As such, these diagrams are to be submitted in your Final Design Assessment.

To assist you with this process, you must refer to the Victorian ResCode for details of preparing a site analysis plan.

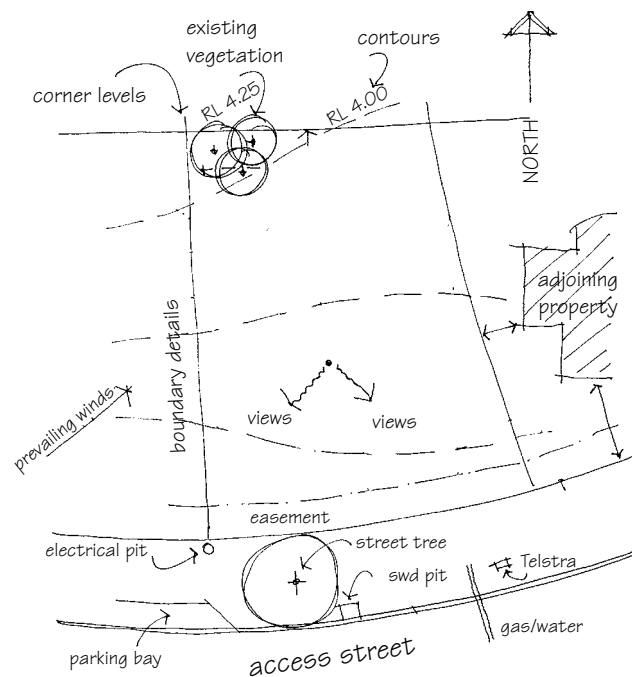


diagram 2
Site Analysis Plan

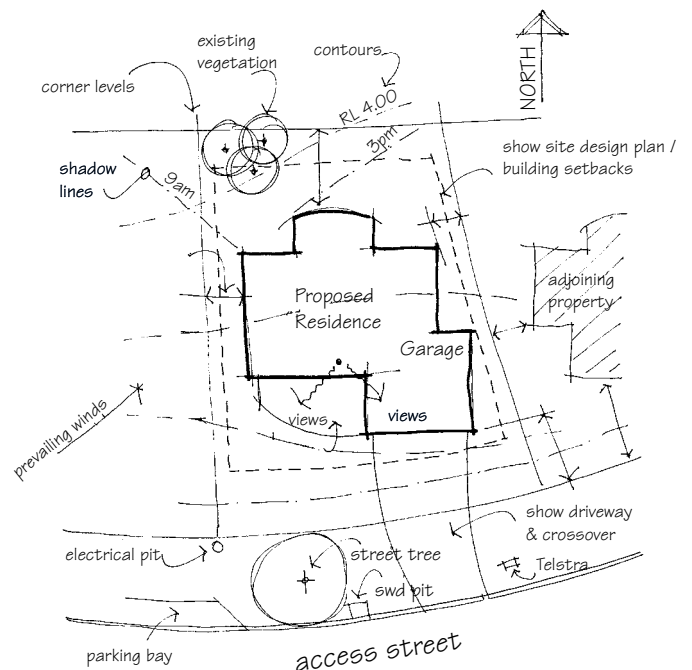


diagram 3
Site Design Response

5.0 SITE PLANNING AND BUILDING DESIGN cont.

5.2 Privacy

The design focus of the estate is to create an open plan living style, with the living areas of each dwelling incorporating landscaping to increase the privacy features of the dwelling and to enhance the streetscape.

With your design it is important to create private outdoor areas which relate to the interior living design layout of your residence. In designing your home you should endeavour to minimise overlooking and overshadowing adjoining properties, and in particular, private open spaces.

The effectiveness of your design in incorporating orientation, design, location and style of windows, balconies, along with screening devices with the use of creative landscaping will achieve a responsibly built environment considerate of the amenity of the neighbourhood.

Note: It is your responsibility to ensure privacy considerations are in accordance with ResCode.

5.3 Building Setbacks

Setback controls have been carefully planned to ensure the integrity of the urban streetscape and for the overall enhancement of the estate.

A siting design policy or building envelope applies to all lots within the estate. To obtain a copy and details please contact the ARC. You should obtain this detail prior to the commencement of design work for your dwelling. The siting design policy also applies to verandahs, pergolas and outbuildings.

Garages are to be articulated into the main dwelling and should not project forward of the dwelling by more than three (3) metres. The design is not to be compromised by garage dominance. Where the design requires the garage to be fully forward of the dwelling, side entry will be required with the minimum setback being as per the siting design policy plus an additional one (1) metre.

The ARC has discretion to grant dispensation for garages and parts of dwellings to an overall length of nine (9) metres on one boundary only. In such instances, a parapet wall with box gutter must be provided to the exact boundary. No off-sets will be permitted.

It is recommended that you refer to the website information sheet entitled 'Standard Boundary Detail', copies of which are available from the ARC.

These building envelopes referred to are in addition to statutory building and planning regulations. You as the lot owner are required to ensure that the dwelling complies with all statutory regulations and requirements in accordance with the City of Frankston and other relevant authorities.

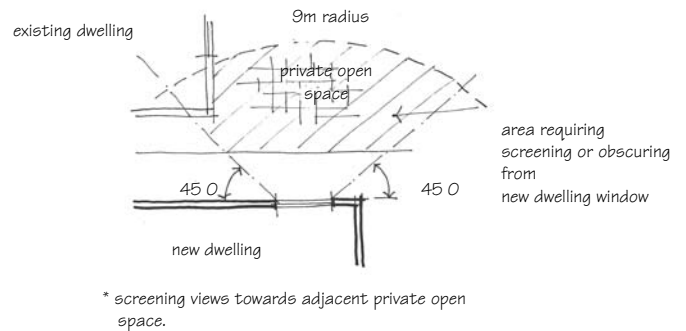


diagram 4

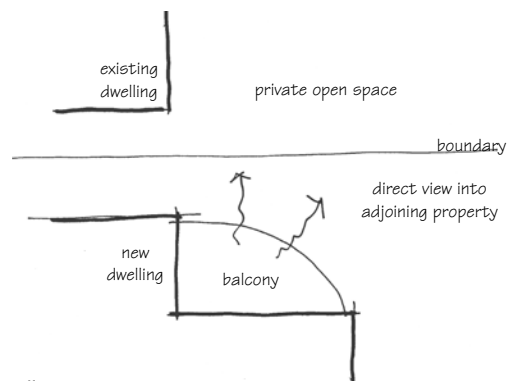


diagram 5

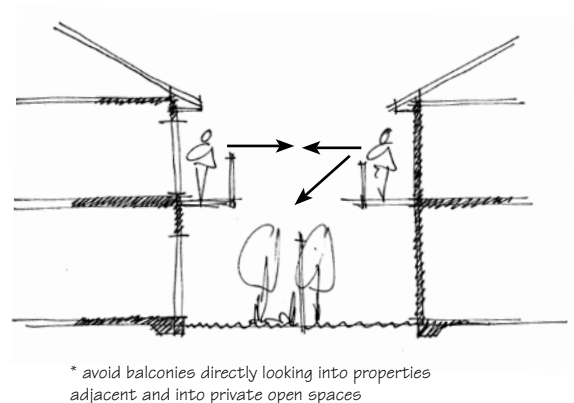


diagram 6

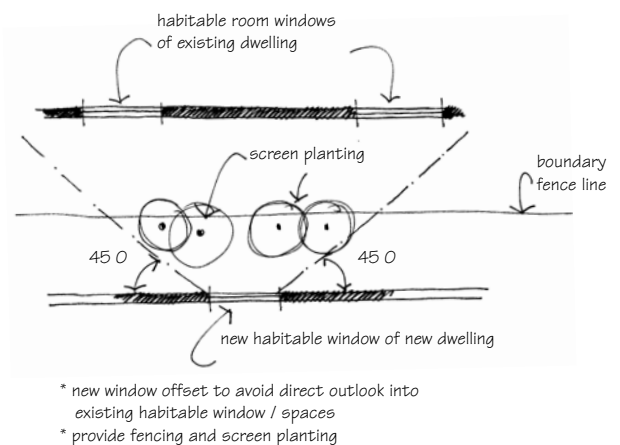


diagram 7

Privacy Consideration Diagrams



5.4 Building Form

Residences within the estate are to reflect contemporary residential country club and resort design, with building material being considerate of this design requirement. Designs should have low pitched roofs with wide eaves treatments.

The use of 'mock' styles and/or period designs (i.e. Federation, Colonial) will not be permitted. Designs should be simple with clean lines whilst maintaining individuality to the residence.

Dwelling façade designs which reflect 19th Century styles will not be permitted, including the use of decorative elements, double columns, cornices, window cross bars, architraves and lacework/fretwork.

Where mouldings are used, they are to be square or rectangular in cross-section and painted out the same colour as the surrounding wall surface. They must not be highlighted by a colour change.

Where there are twin columns, they must be replaced by a single column.

The design should provide simple defined entrances. The building form is to be considerate of all elevation treatments.

Roof forms that enhance the design and sit the house down is the design philosophy, with eaves provided.

Box-style homes must be avoided; therefore the floor area of an upper storey of a dwelling must be at least 20 per cent less than the floor area of the main lower level storey. Such articulation must be reflected in the front elevation. In the case of corner sites, boulevard lots, golf course lots and lake lots, articulation shall be reflected in the elevations facing the street, golf course or lake.

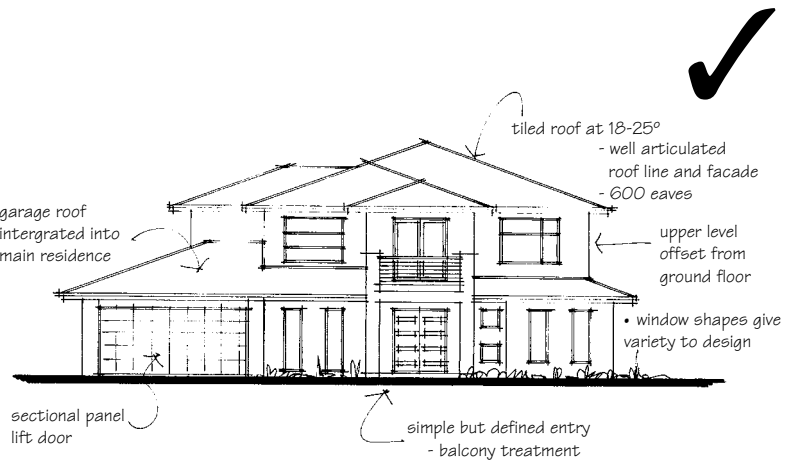


diagram 8

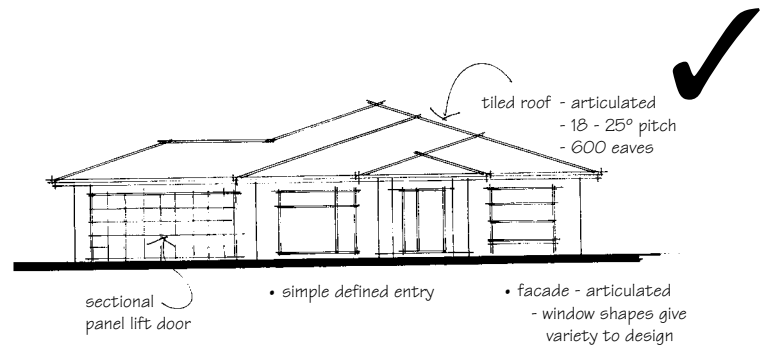


diagram 9

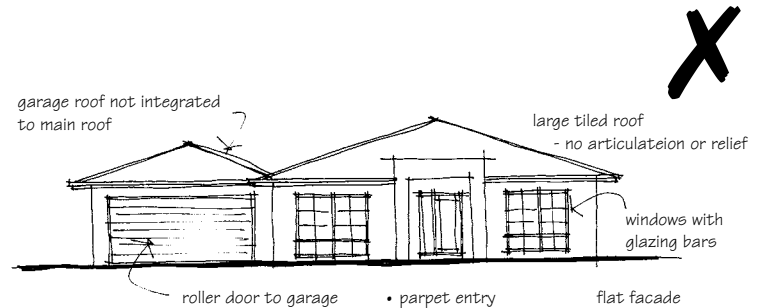


diagram 10



diagram 11

Building Form Diagrams

5.0 SITE PLANNING AND BUILDING DESIGN cont.

5.5 General Design Principles

Single Storey Design Requirements:

- Articulate front façade;
- If corner lot then articulate side elevation wall and roof, in addition to front;
- Enhance the street address with relief elements such as pergolas, porches and verandahs;
- Model roof line;
- Provide simple defined entry, in scale with the overall house;
- Limited use of parapet wall is acceptable (maximum 30%), however this should not dominate the front façade as eaves are to be expressed;
- Roof eaves to be minimum 600mm (measured from finished wall surface exclusive of fascia board and gutter);
- Flat roof to entry can be considered;
- Vary windows to give variety to design; and
- Use of complementary building materials.

Double Storey Design Requirements:

- Articulate and layer front façade, with upper floor being set back to ground floor by minimum 1.2m from the front;
- If corner lot then articulate side elevation in addition to front;
- Enhance the street address with relief elements such as pergolas, porches and verandahs;
- Simple and in scale entry structure;
- Consider window shape to give variety to design;
- Large box structure not permitted;
- Roof form to be articulated;
- Encourage front and rear balconies, large glass areas (solar efficient) terraces, pergolas or similar design elements;
- All roof eaves to be minimum 600mm (measured from finished wall surface exclusive of fascia board and gutter); and
- Parapet can be used to detail section at ground floor where front and side upper level offset provide sufficient articulation and where upper level roof eaves is the dominant roofing feature to the satisfaction of the ARC.



5.5 General Design Principles cont.

Other design requirements:

- Provide address to feature areas of the estate being boulevard, recreation links, golf course, secondary streets and parks/public areas;
- The ARC will require different levels of articulation to each location;
- Recreation links/public areas will require to have address provided by introducing a door and presentable break up of building form using pergola treatments or alfresco areas;
- Golf course and boulevard lots to have entry structure provided and a well articulated/layered façade provided. Can incorporate pergolas, balconies and alfresco areas to enhance design. Built form at ground floor and first floor to be articulated/layered;
- Secondary streets to be similar to requirements of golf course and boulevard lots;
- Where allotments have more than one address to the streets, side streets or public areas, articulation to the facades will be required; and
- Garages are to be set back and incorporated into the design rather than dominate street frontage and are to be architecturally tied to the main dwelling.

5.6 Verandahs and Balconies

The use of design elements such as balconies, verandahs and pergolas is necessary in articulating the façade, creating a 'layered' effect and softening the overall streetscape and delivering visual interest to the design.

The use of balconies and verandahs or similar structures within the design is encouraged as they help to break the visual barrier that can be created with two-storey dwellings.

Verandahs and balconies are also elements that reflect the environment that is being created at Sandhurst Club, being modern contemporary, encouraging the use of such design elements to enhance outdoor living areas.

5.7 Design Duplication

In order to ensure the urban design integrity of the estate and to protect the financial investment made in your house design, duplication of the same house design and façade within a precinct/stage is to be minimised. In this respect, no more than five (5) dwellings of the same type and façade will be permitted within the precinct/stage.

No house of similar design (as deemed by the ARC) can be located within the estate in a street within five (5) lots or seventy-five (75) metres measured from the centre line of the front boundary of the property (whichever is greater), and to the left and right of the lot. The same distance apart applies to the opposite side of the street.

Townhouse and medium density dwellings are exempted.

5.8 Size

For a lot greater than 450 m² in total area, the minimum total floor area of a residence must be 180 m². The total floor area of a residence for the purposes of this rule includes the external walls but excludes garages, verandahs and other enclosed areas.

5.9 Floor Levels

Within the Sandhurst estate there is a recommended minimum floor level that generally houses should be constructed to. You are referred to the Sandhurst Club Information Sheet IS-13 Floor Levels.

5.0 SITE PLANNING AND BUILDING DESIGN cont.

5.10 Height Restrictions

Houses can be either single storey or double storey. The maximum height allowable is nine (9) metres, measured to the top of the roof ridge from the natural ground level. The dimension of building height is to be shown on the final design plans submitted.

Where a third level is desired, it may be considered by the Committee, if the extra level is located in the roof space or in the basement level below the natural ground line as long as the height restriction is maintained.

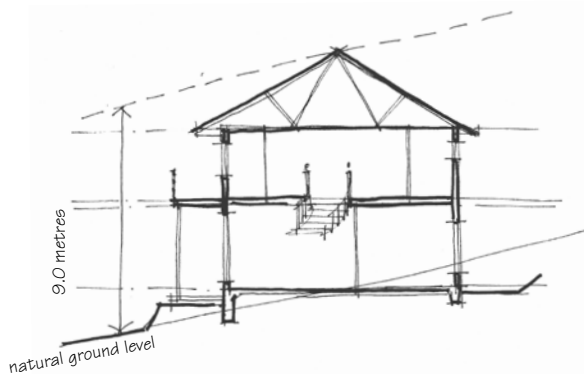


diagram 12

Building Height Restriction

5.11 Calculation of Areas

Building area (total building bulk area) - the maximum building areas allowed are as follows:

Lot size: 450 sqm to 580 sqm is 80%

Lot size: more than 580 sqm is 75%

An example of the calculation required to be shown in the submission plan is as follows:

Building Area Calculation:

Grd flr (internal areas)	180 sqm
Grd flr (external covered areas)	35 sqm
First flr (all areas under cover, incl covered balconies and decks)	120 sqm
Garage	45 sqm
Total building area	380 sqm
Assuming lot area is	690 sqm

Then, % of building area is $380/690 = 55\%$

The ARC may allow an additional 5% to the allowable building area. This request can be considered if architectural and design merits exist to the satisfaction of the ARC upon application.

Site coverage (footprint) - the maximum site coverage is 60% as per Victorian ResCode.

An example of the calculation required to be shown in the submission plan is as follows:

Site Coverage Calculation:

Grd flr (internal areas)	180 sqm
Grd flr (external covered areas)	35 sqm
Garage	45 sqm
Total building area	260 sqm
Assuming lot/ land area is	690 sqm

Then, % of site coverage is $260/690 = 38\%$



5.12 Roofing

Roofing form and controls are to provide interest and enhance the building design. The materials used are to be non-reflective concrete or terracotta tiles with a non-glazed finish.

The urban design philosophy is considerate of lowset roof lines enhancing the building form and façade, rather than being a predominant aspect of the overall 'address'. As such the roof pitch should conform to the design policy. The roof pitch range should be between eighteen (18) degrees and twenty five (25) degrees.

Some detail areas of higher or lower roof pitches may be considered on individual design merit in conjunction with the overall roof design. You will require specific approval from the ARC.

The use of hip roofs is encouraged and gable roof forms can be considered to the satisfaction of the ARC.

Flat roof areas are generally not permitted, however, can be considered to small feature areas at the ground floor level. Flat roof areas and parapet wall will not be approved to the upper roof level.

All associated roofing materials are to be the same colour, including pipe-work penetrations. The use of colorbond roofing is not permitted to the main roof area. It can be used to flat roof sections approved by the ARC and is to be a colour that matches the roof tiles.

The use of 600mm eaves, measured from the face of the finish wall surface or brickwork, (exclusive of fascia and gutter), is required. Refer to the website information sheet "Standard Eave Detail" or obtain a copy from the ARC.

Details of roof protrusions such as chimneys and air-conditioning units must also be submitted for approval. Air conditioning units are required to be located below the roof ridge line.

5.13 Plumbing

All plumbing (including spa pumps/motors) are to be concealed within the building fabric and not located on the external wall of the dwelling. No exposed plumbing is permitted. Downpipes are exempt from this requirement.

Downpipes are permitted to the external wall on the basis they are painted to match the immediately adjoining wall colour.

Solar pool heating systems are allowed provided they are screened from public view and pipe-work is painted to match the residence. Specific approval from the ARC is required.

With single storey dwellings, external spa pumps/motors may be permitted where they are located below the fence line and effectively screened from public view. This concession will require ARC approval.

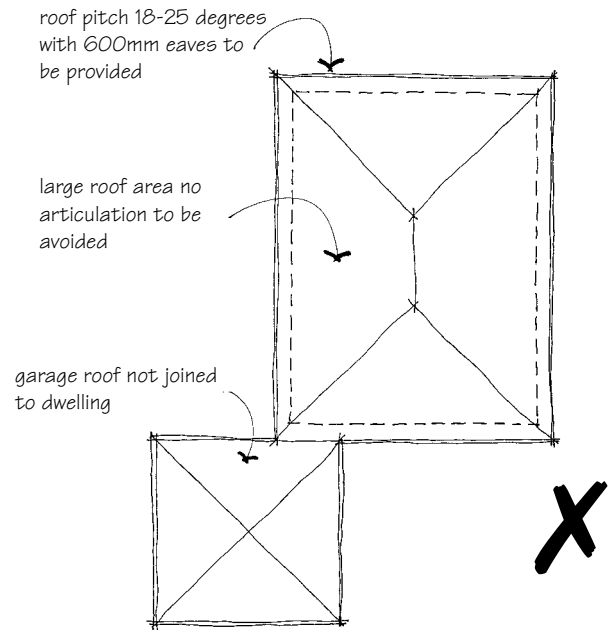


diagram 13

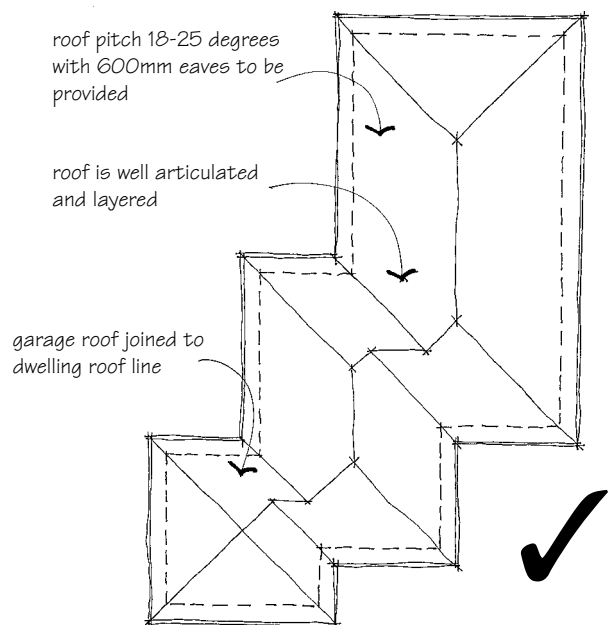


diagram 14

Roof Pitch, Design & Form

5.0 SITE PLANNING AND BUILDING DESIGN cont.

5.14 Garages

Garages are to be set back and incorporated into the design rather than dominate the street frontage. Generally, they should be architecturally tied to the main dwelling to avoid garage dominance. The garage on a lot must match or complement the residence on that lot in respect of materials used, the design, external appearance, colour and the quality of construction.

Garages are to have a tiled pitched roof to match the dwelling. Complete flat roof garages will not be permitted. However, if substantial area of the garage is under the upper level then the balance could be a flat roof with parapet upon application to the ARC. Please refer to the diagram for details.

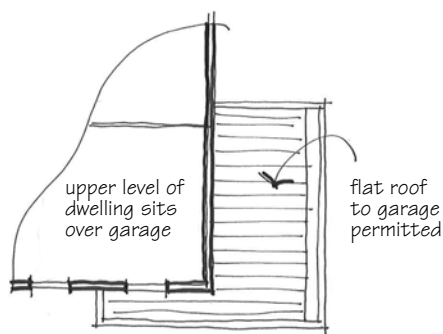
The design must allow for a minimum two-car lock up accommodation.

If a triple car garage is proposed then it is a requirement that a double crossover is provided, which will be at the individual lot owner's cost.

Where allotments shape and/or site access requires the garage to be located forward of the dwelling, the ARC may grant special design consideration upon specific application.

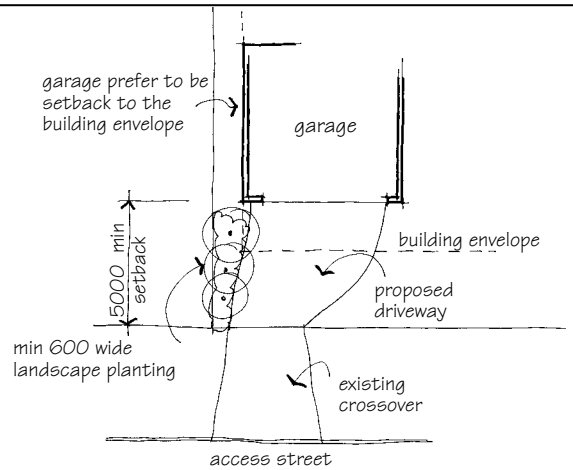
Carports are not permitted to the street frontage but may be located behind garages and residences. They must have solid supports i.e 125 mm x 125 mm posts or brick masonry piers. Finishes are to match the main dwelling. The ARC reserves the right to limit the area of carport/ pergolas under roof.

The minimum setback for garages is 5 metres.



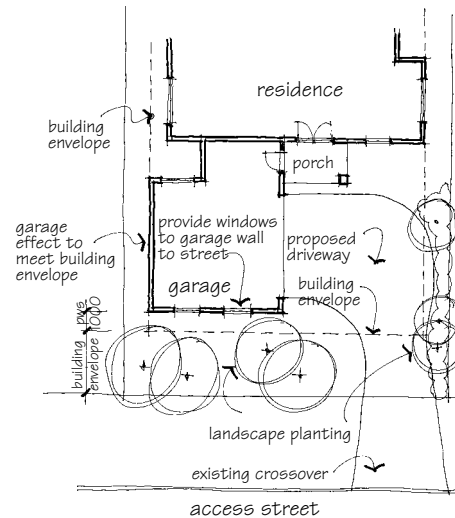
* Typical garage detail where flat roof permitted in part

diagram 15



* When garage to be placed on the boundary you are required to provide a parapet wall and box gutter

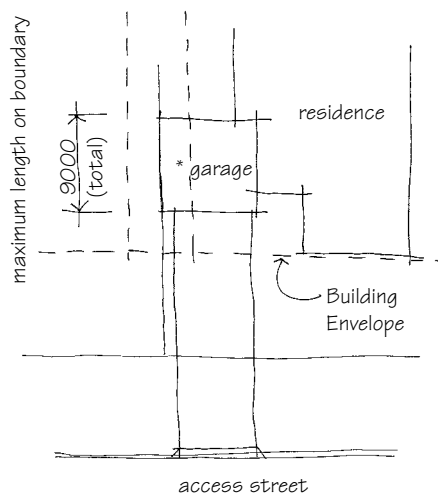
diagram 16



* Where garages are to be located at front of the dwelling, direct access is not permitted.

* You are required to adopt a side entry, also the garage is to have windows provided to the street frontage.

diagram 17



* Garages / Residence built to boundary is not as of right and requires specific approval from the ARC

* Your design should have all buildings offset to be in accordance with the Building Envelope Plan.

* 9.00 metres maximum of garage and residence built on only one boundary

diagram 18

Garage Design Location Diagrams



5.0 SITE PLANNING AND BUILDING DESIGN cont.

5.16 Driveways and Crossovers cont.

- The driveway and crossover must be aligned, if a wider driveway is required then the crossover must be increased to suit; and
- Refer to IS-29 regarding Driveways.

5.17 Security System and Communication Network

One of the major advantages of living at Sandhurst Club is the private security services provided by the Club. To take advantage of the services and to make the Club as secure as possible, it is compulsory for each home to have a security monitoring system that is monitored 24 hours by the Club (or its nominated agent). All security systems must be approved by the Sandhurst Club Architectural Review Committee (as stipulated in Section 3.6.4 of the Sandhurst Club Limited Residential Code By-Laws).

It is recommended that you refer to the information sheet IS-9 'Security System Requirements', which is available from the website or the ARC for more detail.

Modern technology has brought many changes to the way we live, specifically in communication, from radio, telephone, TV and the internet. To accommodate these changes, residential developments must move forward with technology and provide infrastructure that will have the capacity not only for today but also for future technological advancements.

In standard residential areas, Telstra meets the communication needs of the community. At Sandhurst Club, we provide an advanced communication infrastructure in addition to Telstra's traditional copper network. Sandhurst's communication network provides a host of services, including distribution of analogue and digital free to air television, several movie channels, ultra-high speed broadband, IP telephony, Foxtel, security monitoring and gate operation for those who live in a gated precinct. Further services, such as a Club intranet, and video-on-demand are likely to be added. It is recommended that you refer to the information sheet IS8 Communication Network Specifications for more detail.

To obtain more detail, you should refer to the Sandhurst Club's website information sheet on 'Communication Network'.



6.0 EXTERNAL ELEMENTS, MATERIALS & COLOURS

All external materials and colours are required to be approved in writing by the ARC prior to the commencement of construction. You will be required to provide your external material and colour selections to the ARC at the time of final approval.

The external materials and colours should reflect the environment being created at the Sandhurst Club. Colours should be of light to mid tones in general terms, with feature colours and materials introduced to bring variety and individuality to the designs while at the same time maintaining consistency throughout the estate.

Highly reflective or bright colours are not permitted to be used as predominant colours. Other colour accent, including brighter, stronger colours can be approved when aesthetically used on detailed building elements. Such applications will be assessed on their individual merits.

Samples of your external material and colours MUST be provided to the ARC with your submission. Face brick will require a 3 brick sample pack. Areas of lightweight construction (such as cement sheet, weatherboard and composite cladding) and stonework are permitted in detailed sections to complement the overall design.

Within the estate there are particular requirements to render the complete dwelling and garage with face brickwork being not permitted as on the boulevard and golf course lots. Refer to 6.11 Distinctive Lots. It may be possible to provide a detail panel of brick, stone or other composite material to the satisfaction of the ARC.

Additionally, materials and finishes to consider depend on the location within the stage/precinct. The ARC may require alternative materials and finishes to meet this requirement.

Some light weight materials may be utilised to break up the render or brickwork in double storey dwellings; the colours should not be dark except as feature highlights in accordance with the requirements of the Code.

Accent materials being fascia, gutter, window trim, front door, balustrade and handrail should be complementary to the dwelling. It is recommended that the gutter match the roof tile as this produces a crisper result. Downpipes should match the adjacent wall colour and not be highlighted.

6.1 What To Submit

Application form: Complete the application form.

Samples: Provide samples of all proposed external materials and colours.

Coloured elevation: It is a requirement to provide a coloured up set of elevations to accompany the submission which clearly shows the extents of colours proposed.

6.2 Face Brickwork

Face brickwork is to consist of light to mid-range textures with no strong or predominant blends. Bricks with "red" as base will not be permitted. Bricks should be regular in shape and texture, with square edges.

The use of rough/tumbled bricks, split faced, rough blockwork or similar material is not permitted, however, smooth blocks can be considered on merit.

Some detail panel of stonework and the like can be considered on application. No bright or highly contrasting mortar colours will be considered.

Flush or rolled joints are to be adopted; raked brickwork joint is not permitted.

Dwellings with significant face brickwork are encouraged to incorporate sections of contrasting materials.

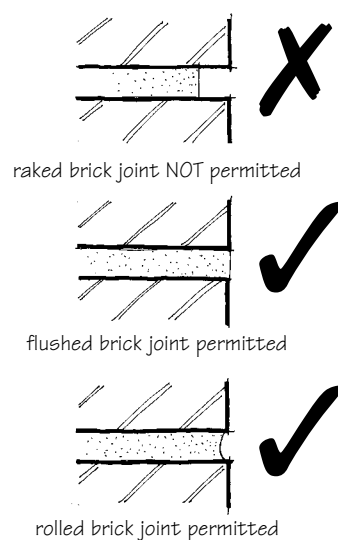


diagram 22

Brick Joints Detail

6.3 Render

The base or predominant colour of the dwelling is to be light to mid tone. The use of dark feature colours to detail panels can be permitted upon application. It is a requirement to provide a coloured up set of elevations to accompany the submission which clearly shows the extents of colours proposed.

It is recommended that the use of tone on tone be adopted, rather than highly contrasting colour schemes.

Bagging and painting can be included in the building design when used in conjunction with rendering provided that it is double bagged and painted.

6.0 EXTERNAL ELEMENTS, MATERIALS & COLOURS cont.

6.4 Garage Doors

Garage doors are to be panel lift or similar design. The use of roller doors to the street frontage is not permitted but can be considered to the rear of a residence where it can be adequately and effectively screened from public, lakefront and golf course view.

Garage doors are to be light in colour, complementing the design character and front façade. Dark colours for the garage door will not be approved. Timber cedar doors will be considered with a clear polyurethane finish, cedar look-a-like doors of light colour finished will be permitted.

Note: The use of tray deck finishes to garage doors is NOT permitted. The top panel of the door can be glazed, but no fan lights or the like are permitted.

6.5 Roof Material

Roofing materials are to be non-reflective concrete or terracotta tiles with a non-glazed finish in dark grey or charcoal colour range. Light coloured roof tiles will not be permitted. Colorbond is not permitted.

All associated roofing materials are to be the same colour, including pipe-work penetrations.

All roof penetrations such as pvc vent pipes and heater flues are to be painted to match the roof colour and not left exposed.

The use of Colorbond roofing will only be accepted to flat roof sections where required due to design implications, and approval on such basis will not be deemed to confer precedence. Such sections must be effectively screened from the 'street address'.

6.6 Fascia Colour

This colour should be similar to the dwelling colour but can be a contrasting colour if it complements the design.

6.7 Gutter Colour

Gutter colours are recommended to match the roof tile as this produces a crisper result.

6.8 Window Trim Colour

Window trims should be complementary to the dwelling and highly reflective colours should be avoided.

6.9 Front Door Colour

Front doors, including security screen doors, should be complementary to the dwelling and highly reflective colours should be avoided. Elaborate design security doors are to be avoided.

6.10 Balustrade and Handrail Colour

Balustrade and handrails should be complementary to the dwelling. These can be painted out in a contrasting colour to that of the main dwelling and can be darker for emphasis. Differing tones of the same hue should be considered.

6.11 Distinctive Lots

Sandhurst has a diverse range of lots within the estate and these will require specific treatment in relation to external materials and colours selection.

Boulevard Lots

Lots on the boulevard must be in render form only, with face brick and/or bagging NOT permitted. Render colours should be light to mid-range pastel toning, non-reflective and complementary to the streetscape.

Golf Course Lots

Lots on the golf course must be in render form only, with face brick and/or bagging NOT permitted. Render colours should be light to mid-range pastel toning, non-reflective and complementary to the streetscape.

Lake Front Lots

Lots on the lake front can be finished in face brickwork or render and small area of light weight material may be utilised to break up the render. Colours should not be dark except as feature highlights in accordance with the requirements of the Code. Also, notwithstanding this, each lot is to be considerate of actual location within the stage/precinct.

Townhouse Lots

These lots can be finished in face brickwork or render with colours to be in accordance with the requirements of the Code. Notwithstanding this, each lot is to be considerate of actual location within the stage/precinct.

Parkside Lots

Lots on parkside can be finished in face brickwork or render, with colours to be in accordance with the requirements of the Code. Notwithstanding this, each lot is to be considerate of actual location within the stage/precinct.



6.12 Letterbox

The location and design of a letterbox must accord with the requirements of Australia Post (please refer to Australia Post brochure for details).

Sandhurst Club has a number of recommended designs. This does not preclude a resident going outside these designs. Any other design should have the following characteristics:

- No greater than a cube of 500mm x 500mm x 1200mm.
- Must be made from substantial material and have a street number of not more than 100mm in height.
- Can be constructed from the same material as the house and painted same colour.
- Must not be standard metal post box form on a steel or wooden pole.
- It cannot have lacework or elaborate wrought iron attached.
- No planters or wall to be attached.
(Free standing letterboxes only).
- No bright colours or letters larger than 2cm in height for the name of the resident, should this need to be indicated.
- No illuminated letterboxes will be permitted.

Please submit a brochure or sketch design of your proposed letterbox to the Sandhurst Club ARC for assessment and approval in writing.

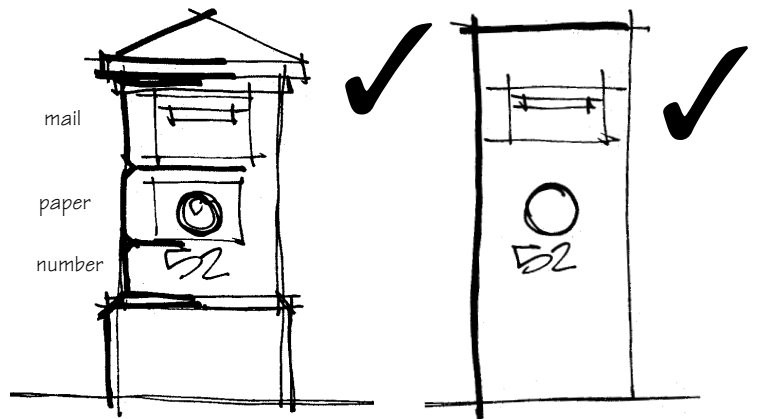
6.13 Fencing

A fencing policy applies within Sandhurst Club, detailing specific requirements to ensure a cohesive approach to fencing throughout the estate, and to maintain an open and relaxed environment whilst retaining your privacy. With this philosophy in mind front fences are not permitted for residential dwellings within the estate.

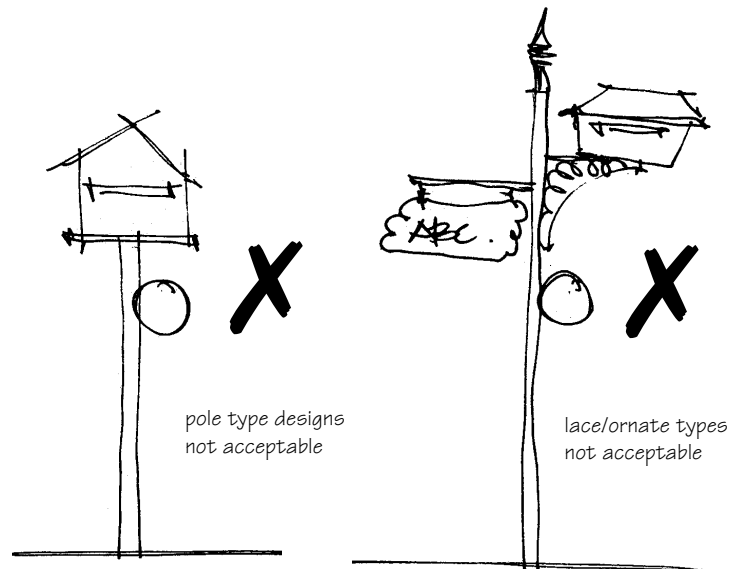
There are specific fence design requirements for the different types of lots and their locations. It is important to take these into consideration to ensure that your house design can accommodate the fencing requirements in place within the estate.

Sandhurst Club will construct fencing to rear of properties where the property borders either a cart path/recreation link, golf course, lake edge, boulevard and selected external boundary roads.

For a complete copy of the fencing policy, please refer to the info sheet on the website.



letterbox to be simple in form
- height, size, location to be in accordance
with Australia Post requirements



pole type designs
not acceptable

lace/ornate types
not acceptable

diagram 23

Letterbox Designs

6.14 Landscaping

The effective use of trees, shrubs, turf, garden beds and other forms of landscape embellishment to the front yard will enhance your residence as well as amalgamating the street address.

The following points should be noted:

- Landscape works must commenced within three (3) months and completed within six (6) months from house completion (Certificate of Occupancy);
- A plan of all hard or built elements must be submitted as part of the design approval process (refer 'typical landscaping plan' diagram 22);
- The plan should indicate house and garage footprint, driveway and parking, extent of paving, shade structures, clotheslines etc;
- Consult your local nursery on suitable species for your area as well as appropriate densities for effective planting, but bear in mind the Club's plant exclusion list;
- Ensure familiarity with tree growth habits, including mature heights and canopy spreads, in order to determine suitable locations and avoid future tree limb or root damage to underground services or buildings;
- A 400 mm border of planting is encouraged to all fence and house bases, in order to soften their impact and minimise weed growth in these areas;
- Seek garden designs from qualified landscape designers; and
- The Club's plant exclusion list of plants is available on the Club's website.

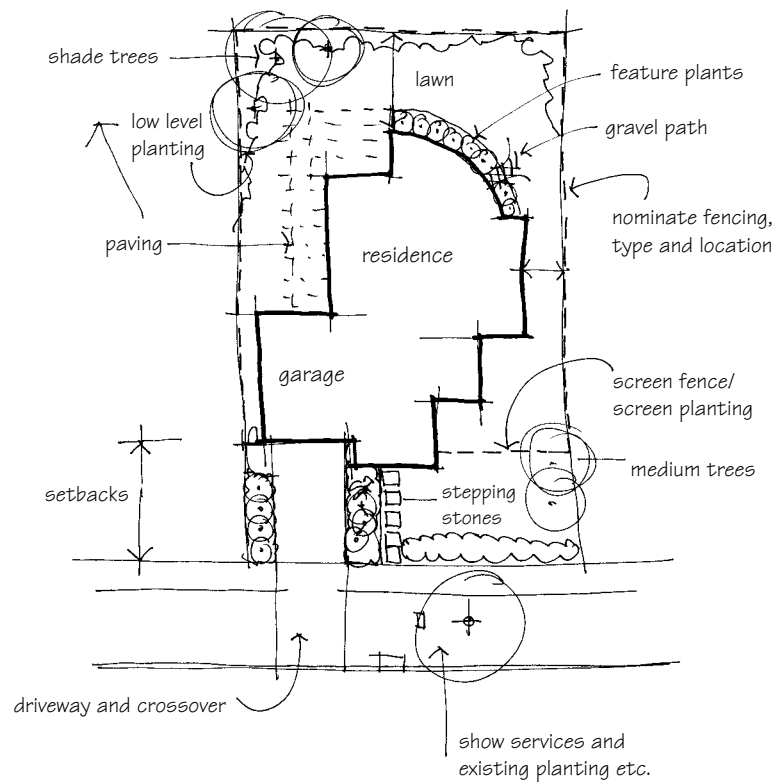


diagram 24

Typical Landscaping Plan



7.0 OTHER IMPORTANT CONSIDERATIONS

7.1 Commercial Vehicles, Boats, Caravans etc

To ensure that an attractive streetscape is maintained within the estate, commercial vehicles, caravans, trailers, boats and the like are not to be parked at the front of properties. All such vehicles must also be screened from public view. This can be achieved by providing an enclosure or containing such items within a carport or located behind the residence or garage and screened from public view.

Boulevard, lakefront, golf course and reserve frontage properties will need to take additional care in the screening requirements for such items.

Parking of the above vehicles types on nature strips, adjoining properties, parking bays and the like is not permitted.

7.2 Outbuildings, Storage and Structures

Storage requirements should be taken into consideration during the design process of your home. At Sandhurst Club, you should endeavour to incorporate such requirements into the main dwelling structure or garage space.

Applications are to be made to the ARC for approval prior to installation.

You will require prior approval by the ARC for all outbuildings, storage-sheds and any other structures.

These include, but are not restricted to:

- Garden sheds;
- Store rooms;
- Pergolas and shade structures;
- Swimming pool structures;
- Spa; and
- Tennis courts and exterior lighting.

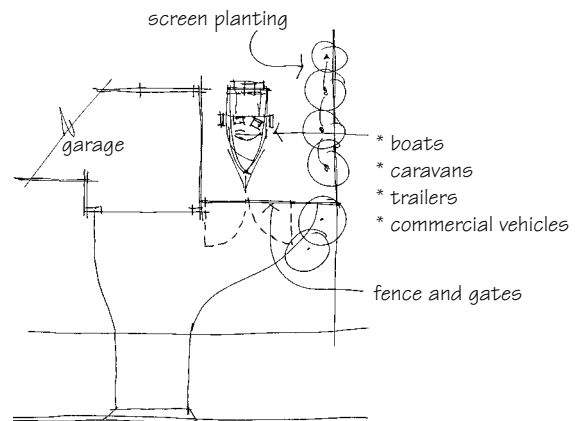
Additionally, any outbuilding or structure must be complementary in design and the materials, colours and finishes must be in balance with the main dwelling.

All garden sheds require ARC approval. There are restrictions on size and location. Garden sheds are not to protrude above the fence height, and must be screened from public view.

Where a garden shed is greater than 9sqm, then the design and finish is to match the dwelling with the use of a tiled pitched roof and materials. Colorbond would not be approved on this occasion.

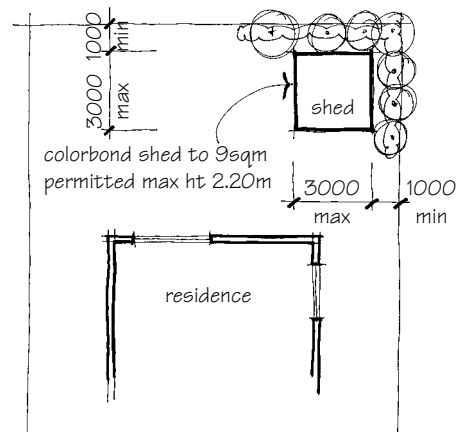
Boulevard, lakefront and golf course lots will require a location assessment of the proposed "works" by the ARC before consideration for approval can be granted.

Hot water services, gas meters and rainwater collection tanks are to be screened from public view. Remember, landscape works are the most effective methods to achieve the desired result of screening.



* Parking of any vehicle on the nature-strip is not permitted.

diagram 25
Screening Solutions



- sheds up to 9sqm can be adopted to match the residence or painted to match the main dwelling.
- sheds greater than 9sqm are to be constructed from materials to match the dwelling including roof pitch and material
- sheds to be located at the rear of the property. Boulevard, Waterfront, Golf Course, Reserve lots require sheds to be located at sides of properties and screened from public view to the satisfaction of the ARC.

diagram 26
Standard Lot Garden Shed Set up

7.0 OTHER IMPORTANT CONSIDERATIONS cont.

7.3 Verandahs and Pergolas

Pergolas are considered to be timber framed structures with no roof sheeting.

Verandahs are considered to be a roofed structure.

The use of verandahs and pergola structures are encouraged where suitable.

The materials to be used are to be of reasonable size, with posts to be 125x125mm, and frame should be nominal 200mm deep beams.

Polycarbonate and/or Colorbond roof sheeting in a colour to match roof tiles is suitable for verandahs under 20sqm.

Verandahs exceeding 20sqm are required to have a 25 degree pitched tiled roof to match the dwelling, as are those exposed to feature areas such as the golf course, lake and boulevard.

Verandahs and pergolas must be set back to meet the required building envelope.

7.4 Shade Sails and Structures

The use of shade sails and structures can be permitted with prior approval from the ARC. They are to be of complementary design to the main dwelling.

For double storey dwellings the colour of the shade sail must be of a light natural toning to match the wall colour.

For single storey the shade sail should be a dark toning to match the roof colour.

The support posts for the shade sail are to be offset to meet the requirements of the building envelope applicable for the lot.

7.5 Swimming Pools

Approval for the siting of swimming pools within Sandhurst Club will be considered on the following basis:

(a) Above ground pools:

Within the Sandhurst Club approved building envelope, and not forward of the house.

(b) In ground pools:

Not forward of the house and within the building envelope, consideration will be given for siting outside the building envelope on an individual basis.

All locations must also meet the requirements of local and state government.

Pool fencing is to be considered as a separate issue from boundary fencing of the lot. Boundary fencing is not to be modified to accommodate pool fencing requirements. All fencing must also meet the requirements of local and state government.

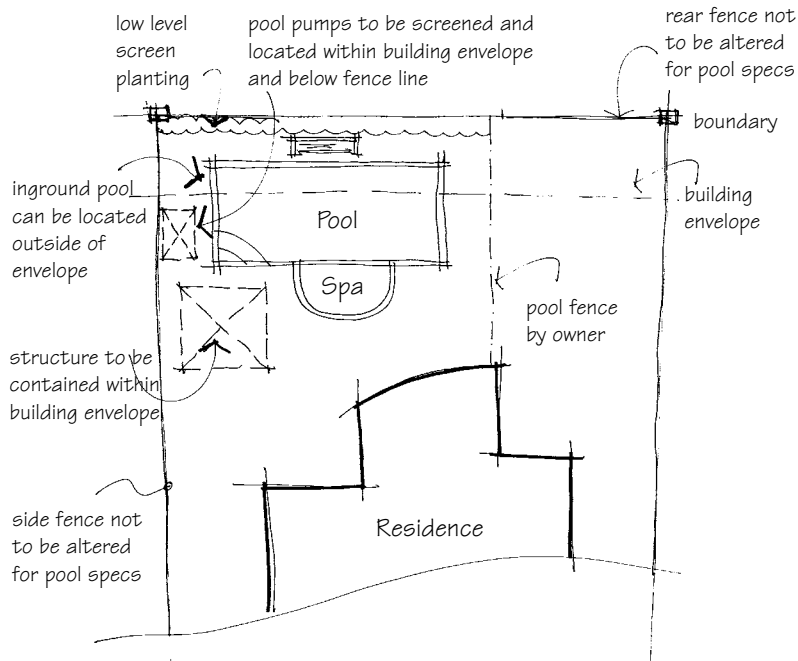


diagram 27

Pool Design

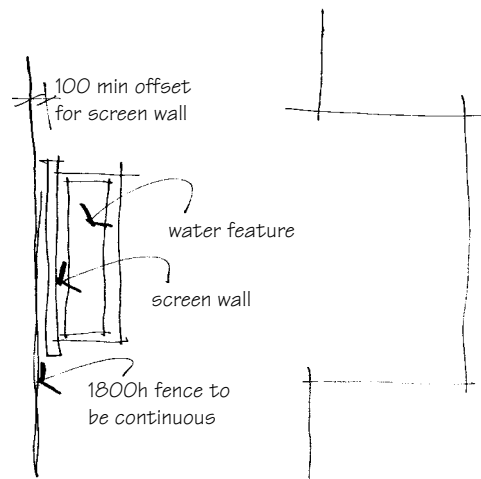
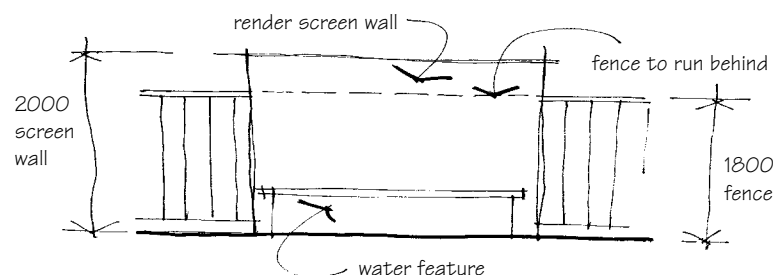


diagram 28

Water Feature Design



7.5 Swimming Pools cont.

Structures associated with a pool may only be constructed within the building envelope and screened from public view. Structures include pool pumps, sheds for the storage of pool materials, gazebos and feature walls or structures associated with waterfalls.

All of the above is subject to the site specific conditions as all lots are treated on an individual basis.

Swimming pool installation also introduces other considerations that are additional to the aforementioned requirements, such as easements, noise, lights, overlooking and other privacy issues / screening requirements.

ARC and local government deliberations will consider each of these matters.

7.6 Restrictions on Ancillary Equipment

Ancillary equipment such as air conditioning units, TV antennae, clotheslines, satellite dishes and the like are restricted as to their location and will not be permitted without written permission from the ARC.

7.7 Air Conditioning Unit

Air conditioning units are to be located below the roof ridgeline and screened from view by locating the unit towards the rear of the property. The units are to be coloured to match the roof colour, along with any associated pipe-work and ducting. The units shall be of low profile type and where appropriate, be fitted with noise baffles.

Final location of units will depend on lot location ie boulevard, golf course, lake frontage etc. In these areas air conditioning units should be positioned to minimise visual impact.

7.8 Solar Water Heating

Solar hot water heaters/panels for homes or swimming pools are permitted provided they are located on the roof and installed at the same pitch angle as the roof and, where practical, screened from public view. Tanks for such systems are not permitted to be located on the roof. The colour of such items is to match the roof colour including any associated pipe-work. They are to be located on the side or rear of the property and not to the front.

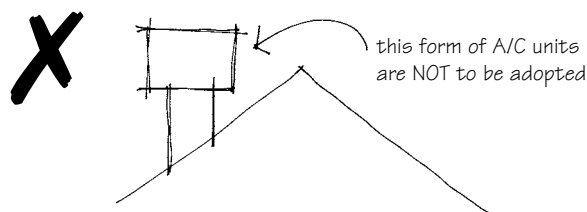
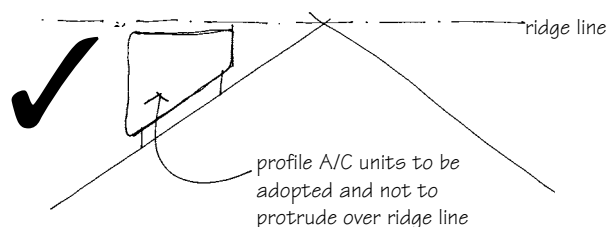


diagram 28

Air - Conditioning Units

7.0 OTHER IMPORTANT CONSIDERATIONS cont.

7.9 Television Antennae & Satellite Dishes

TV antennae and other antennae are generally to be contained within the roof space and not visible. Where antennae are to be externally mounted, they are to be located at the rear of the property, below the roofline.

Satellite dishes are to be located at the rear of the property, below the roofline and must have prior ARC approval before installation.

CB radio antennae will not be permitted on the estate.

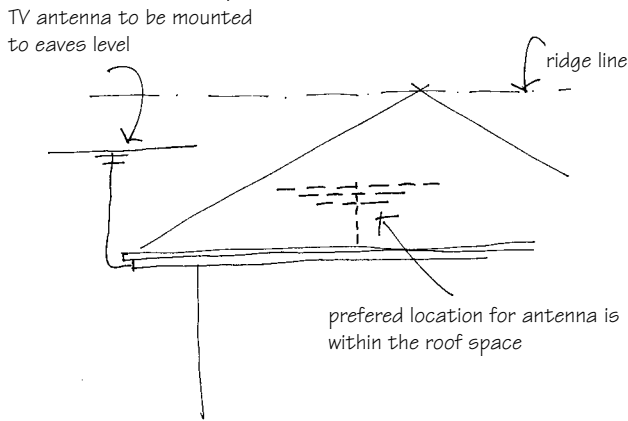


diagram 29
TV Antennae Location

7.10 Clothes Lines and Drying Areas

Clothes lines and drying areas should be located such that they are obscured from public view.

Where lots are backing onto boulevard, golf course/recreation parks and public areas, clothes lines should be located to side areas and be screened. Another alternative is to provide internal drying facilities.

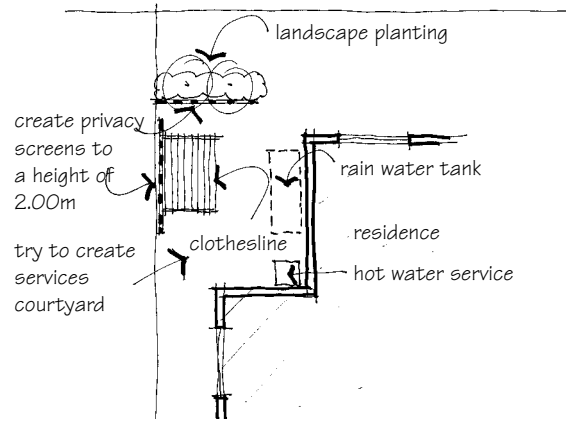


diagram 31
Clothesline, Hot Water Unit and Rain Water Tank

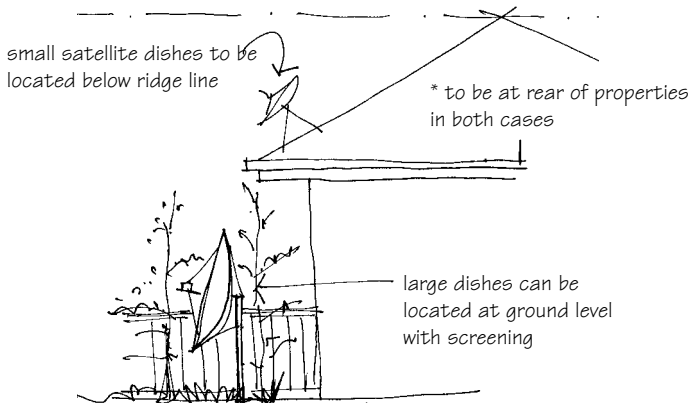


diagram 30
Satellite Dish Location

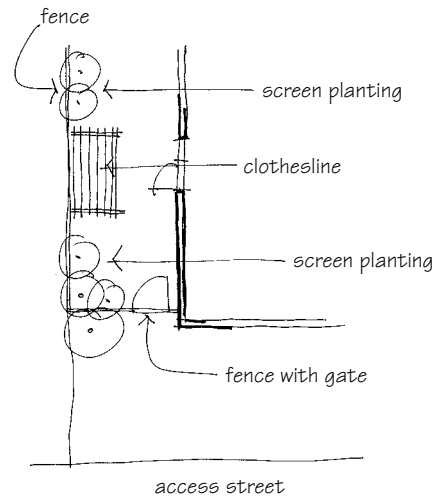
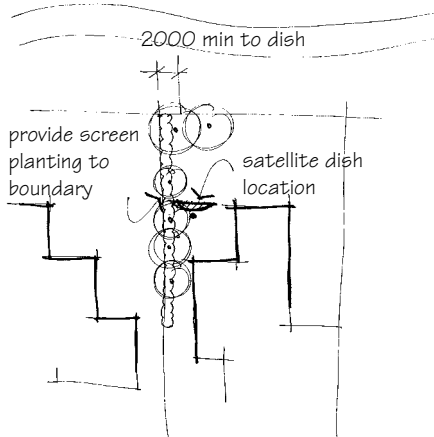


diagram 32
Clothes line Detail



7.11 Outdoor Lighting

Front yard and house front lighting is encouraged for both security and aesthetic reasons but care should be taken to ensure this element does not shine directly into the neighbouring properties.

7.12 Transportable Homes

Please note that transportable buildings are not permitted. 'granny flats' will not be permitted. Builder's site sheds are acceptable during the construction of the dwelling

7.13 Domestic Pets

In keeping with current environmental practices, Sandhurst Club has adopted a domestic pet policy reflective of the sensitive management of the flora, fauna and water course areas, which in turn provide natural habitat and feeding sources for bird life within these areas.

Consequently, if you own a dog or cat you are to adhere to the Domestic (Feral and Nuisance) Animals Act 1994 or any subsequent update. A copy of "dogs, cats, neighbours & you – a consumer guide to the law about owning a dog or cat" is available from Frankston City Council.

7.14 Energy Efficiency

In designing your home, the residence can be made more comfortable to live throughout the year by working within the environment and creating living areas that maximise sun and shade factors depending on the season.

As an example, the use of natural breezes to cool residences rather than the constant use of air conditioners should always be considered. Being aware of prevailing winds and north orientation can aid in the total environment created, along with cost efficiencies achieved with home running costs.

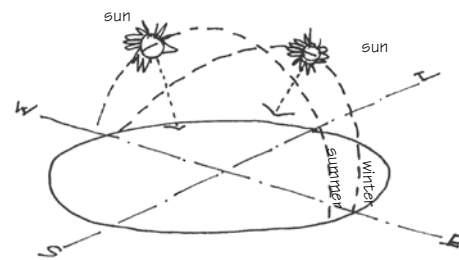
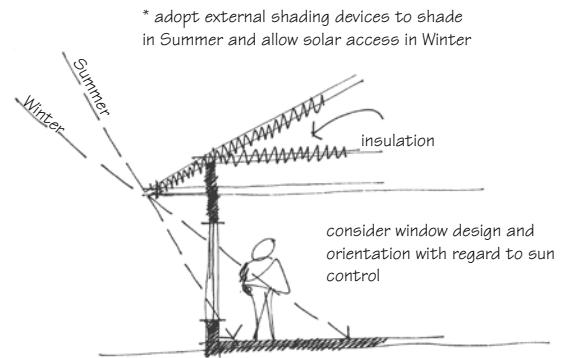
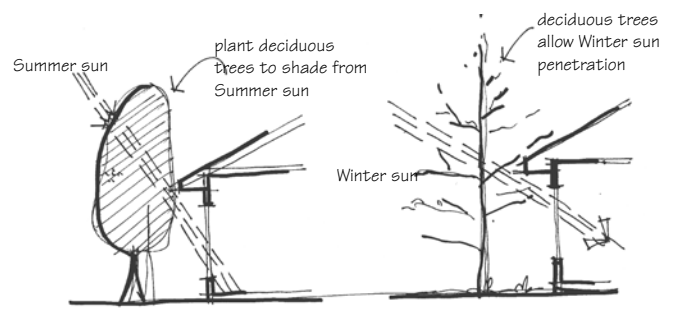
The ARC requires that a copy of the 5 Star Energy Rating Certificate for the dwelling be lodged prior to commencement of construction.

7.15 Water Efficiency

Water tanks must have ARC approval and be appropriately screened from public view. Sandhurst estate actively supports the use of recycled water and you should seek the recycled water guidelines document from the Club's Membership Services' staff.

All homes constructed on the estate must include fittings and connections to the Sandhurst Club recycled water system, as specified by the relevant authorities, to allow toilet flushing and garden irrigation to use recycled water provided within the Sandhurst Club.

You are required to submit plumbing plans to the ARC for approval.



* Consider orientation of Summer and Winter sun

diagram 33
Sun Control & Orientation

7.0 OTHER IMPORTANT CONSIDERATIONS cont.

7.16 Signage

Signage for advertisement of products and businesses are not permitted on allotments unless the ARC has granted prior approval. This also applies to real estate signs.

Builders/tradepersons are required to erect a sign which displays the lot number, building company name, contact person and details during the construction period of the dwelling.

The maximum area for such signs is 1.5 square metres. The signs must be removed at the completion of construction.

7.17 Asset Protection

Members (owners of land) at Sandhurst Club are responsible for any damage their builder (and the builder's contractors) may cause to Sandhurst Club assets, such as footpath, kerbing, nature strips and street furniture and the like. Prior to the commencement of construction on your property a refundable bond is to be paid that will be deposited into a trust fund administered by the Club. Your lot will be inspected at regular intervals during the construction phase and if all assets are protected and no damage identified, the Club will return the bond in full upon presentation of the Certificate of Occupancy.

Please refer to the website for information sheet IS-17 for details.

7.18 Certificate of Occupancy

At the completion of construction you are required to provide to the ARC a copy of your Certificate of Occupancy.

7.19 Compliance

Construction or changes to the dwellings and other structures without obtaining permission from the ARC are considered non compliance. Non compliance effectively defrauds those residents who have complied. Power exists under the Constitution to require these residents to comply.

The overall objective of the code is to provide a pleasant and satisfying urban environment through the approval process and compliance with the Code and Club Rules.

Issues of non-compliance that are not rectified as requested, or are the subject of further action, will be noted and placed on the Lot's file, for subsequent inclusion in Form 1 as an outstanding non-compliance matter when the owner sells the house.

To avoid this circumstance, the ARC urges you to read the Code, familiarise yourself with its requirements and to undertake the construction of your residence in a manner which complies with the approval granted.

If you are unsure at any stage what you need to have approval for and or wish to construct or make a change to any approval you have, then please contact the ARC, who are available to assist and help you.



8.0 ARC FEES AND CHARGES

An ARC levy is payable at the time each new lot is settled. This levy is \$990 (incl GST) in respect of stages.

This levy covers a lot owner making a preliminary application to the ARC for general comment about their design through to undertaking the final design assessment of the plans, which includes the following documents:

- Building design plans;
- External materials and colours;
- Landscape plan, (includes driveway, letterbox, fences);
- Security and communication network plan; and
- Plumbing and water recycling plan.

Should a lot owner choose to resubmit a new and different set of plans, then an additional final approval fee of \$990 (incl GST) will need to be provided with the application to enable assessment. The ARC will not accept the application without the fee being enclosed.

Should a lot owner submit a landscape plan after final approval has been granted, there is no additional fee charged, as this is included in the original settlement fee.

A miscellaneous approval fee of \$250 (plus GST) is charged for any other application made to the ARC such as garden sheds, cubby houses, air conditioning units, pools, tennis courts and extensions/renovations to existing buildings.

A miscellaneous approval fee is applied to lot owners that have received final approval but have failed to sign the contract agreement attached to their approval and returned this to the ARC office within the specified time. The lot owner in this situation is required to resubmit their building design plans and external materials and colours for assessment and approval by the Committee. Failure to sign the contract renders the original approval void and therefore non compliant.

All fees are to be made payable to 'ClubLINKS Pty Ltd'.

9.0 CHECKLIST

Before submitting your application and plans to the ARC for assessment, please ensure that all essential information is included with the documentation. This is important to avoid unnecessary delays due to lack of information and incomplete submission. Failure to provide this information will delay the assessment process and may incur additional costs.

9.1 Submission for Preliminary Assessment

- Cover letter
- Completed application form
- Site plan
- Floor plan
- All elevations
- ARC fee payment (if applicable)

9.2 Submission for Final Approval

- Cover letter
- Completed application form
- External materials & colours form
- Sample and colour charts

Building Plans:

- A3 site plan (1:200 Scale)
 - Building envelope and setbacks
 - Driveway and crossover
 - North point
 - Adjacent buildings
 - Location of services
 - Existing trees and posts
 - Parking bays
 - Footprint of building
 - Contours (if any)
- A3 floor plans (1:100 Scale)
 - Calculations for building area
 - Calculations for site coverage
- A3 roof plan (1:100 Scale)
- A3 all elevations (1:100 Scale)
(indicate height of building)
- A3 sections (1:100 Scale)
(indicate height of building)
- Shadow and overlooking diagrams
(only for double storey dwellings)
- ARC fee payment (if applicable)
- Asset bond deposit of \$1500 to the Club



SANDHURST CLUB HOMEOWNER BUILDING GUIDE MAY 2011

